

STATEMENT OF ENVIRONMENTAL EFFECTS 14 HALL STREET BELMORE

Proposal: Alterations and additions to primary dwelling and construction of a secondary dwelling

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Note:

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1. Executive Summary

This Statement of Environmental Effects has been prepared for submission to the city of Canterbury Bankstown Council (CBC) for a development that is proposing the “*Alterations and additions to existing primary dwelling and construction of a detached secondary dwelling*”. The development site is identified as 14 Hall Street Belmore, legally identified as Lot C DP 305691.

The subject site is zoned R3 Medium Density Residential pursuant to the Canterbury Bankstown Local Environmental Plan (CBLEP) 2023. This Statement of Environmental Effects provides a detailed assessment against the relevant development standards and the relevant development guidelines that are applicable to the site in accordance with the provisions of the Environmental Planning and Assessment Act 1979 (EP&A Act).

2. Site and Locality

The subject site identified as 14 Hall Street Belmore, legally identified as Lot C DP 305691. The site is currently benefited from a detached dwelling with associated outbuildings. The site is a regular shaped allotment with a site area of 518.5m², with a frontage of 11.28m along Hall Street a northern and southern side side boundary of 45.82m and a rear western boundary of 11.28m.

The surrounding locality is primarily characterised by a low-density residential environment. The properties within the surrounding locality of the subject site consist of detached dwellings of single and double storey construction.

The subject site is located in an R3 Medium Density zone. The development provides for a design that is consistent with objectives of the R3 zone and provides a suitably designed development that is consistent with the future character of the area.



Figure 1: Aerial view of the site identified as 14 Hall Street

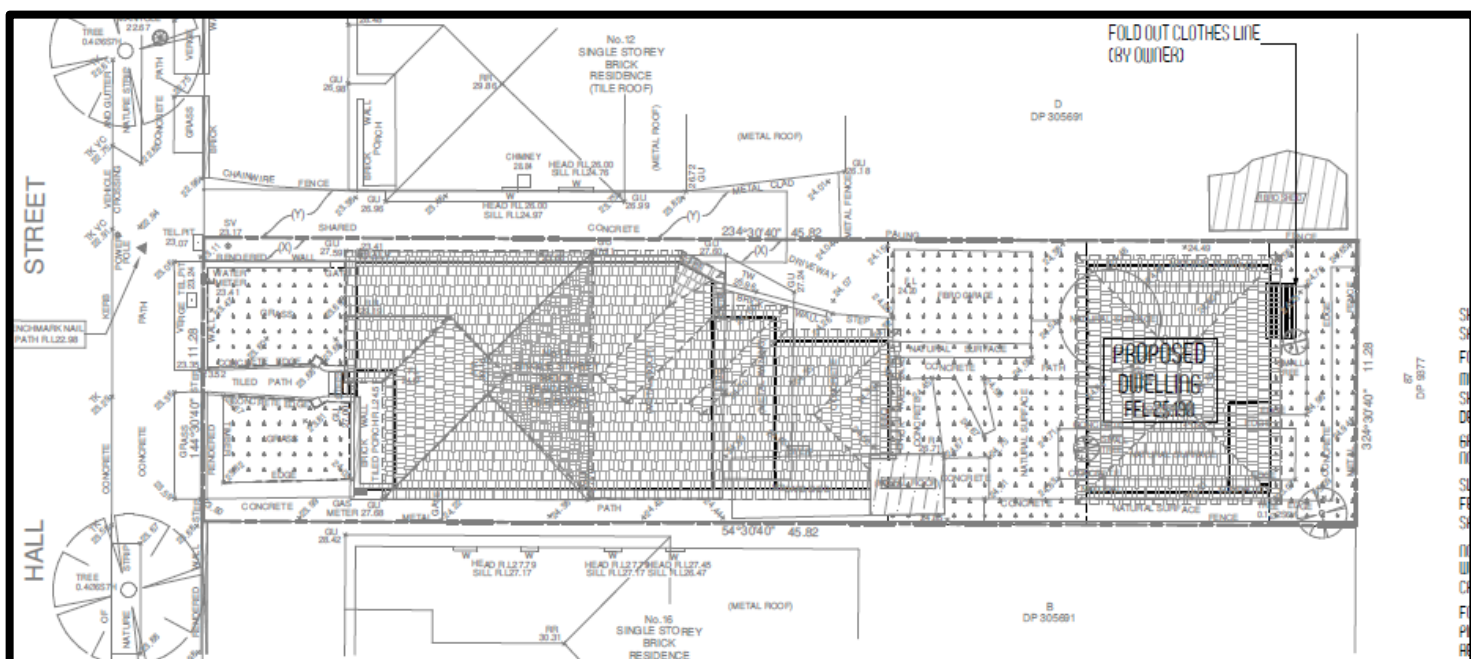


Figure 2: Site Plan



Figure 3: Zoning Map of the area - (Source NSW e-planning portal)

3. Proposed Development

The proposed development consists of:

“Alterations and additions to existing primary dwelling and construction of a detached secondary dwelling”. A detailed description is provided below.

- Ground floor consists of 2 x bedrooms, kitchen/dining room and a bathroom.
- The rear dining room leads out to a POS area with a dimension of 4m and a width of 12.19m.
- The site is flood affected and therefore had to be built in accordance with the minimum flood levels provided by Council being 500mm above the 1:100 flood level.

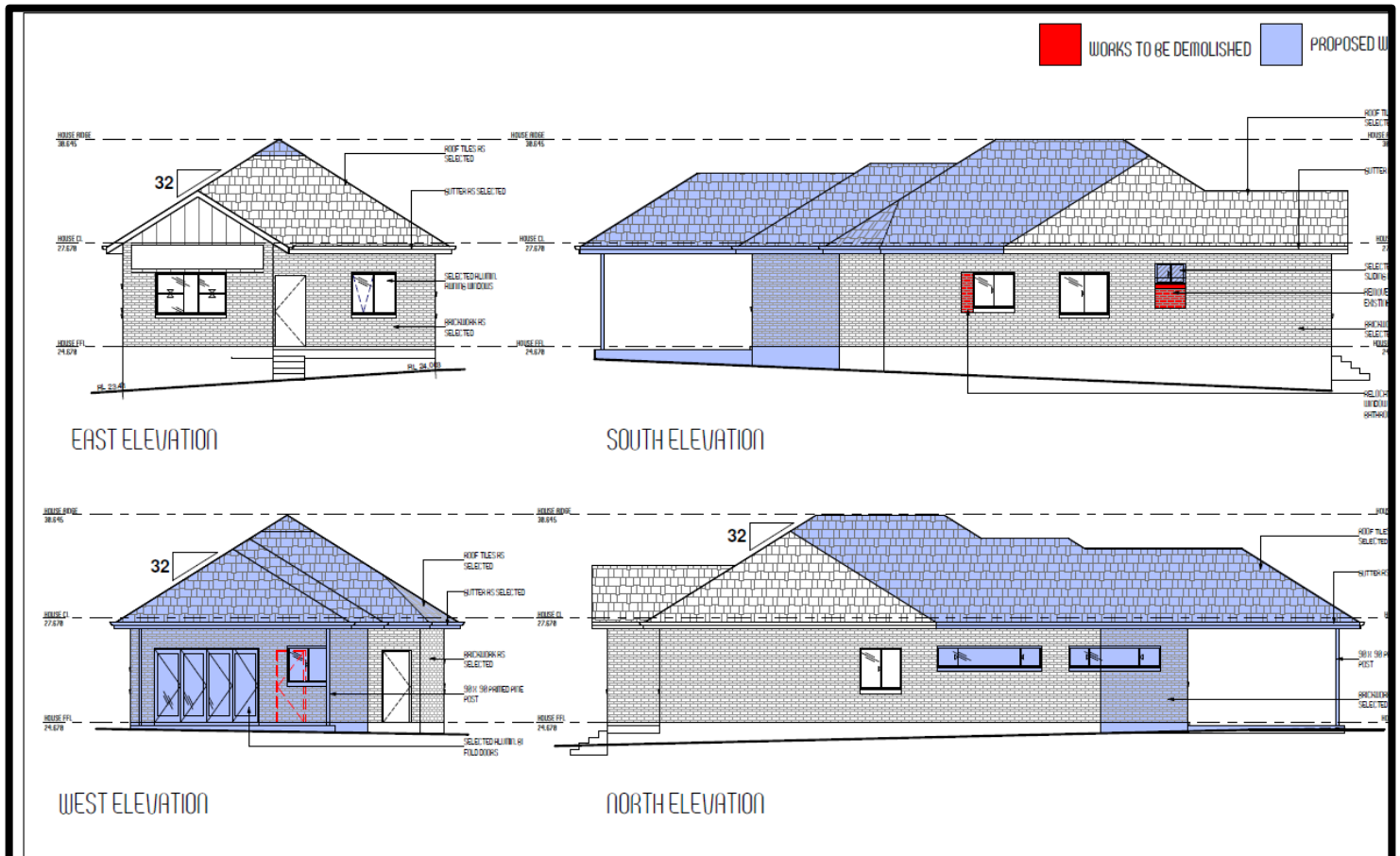


Figure 4: Proposed elevations primary dwelling

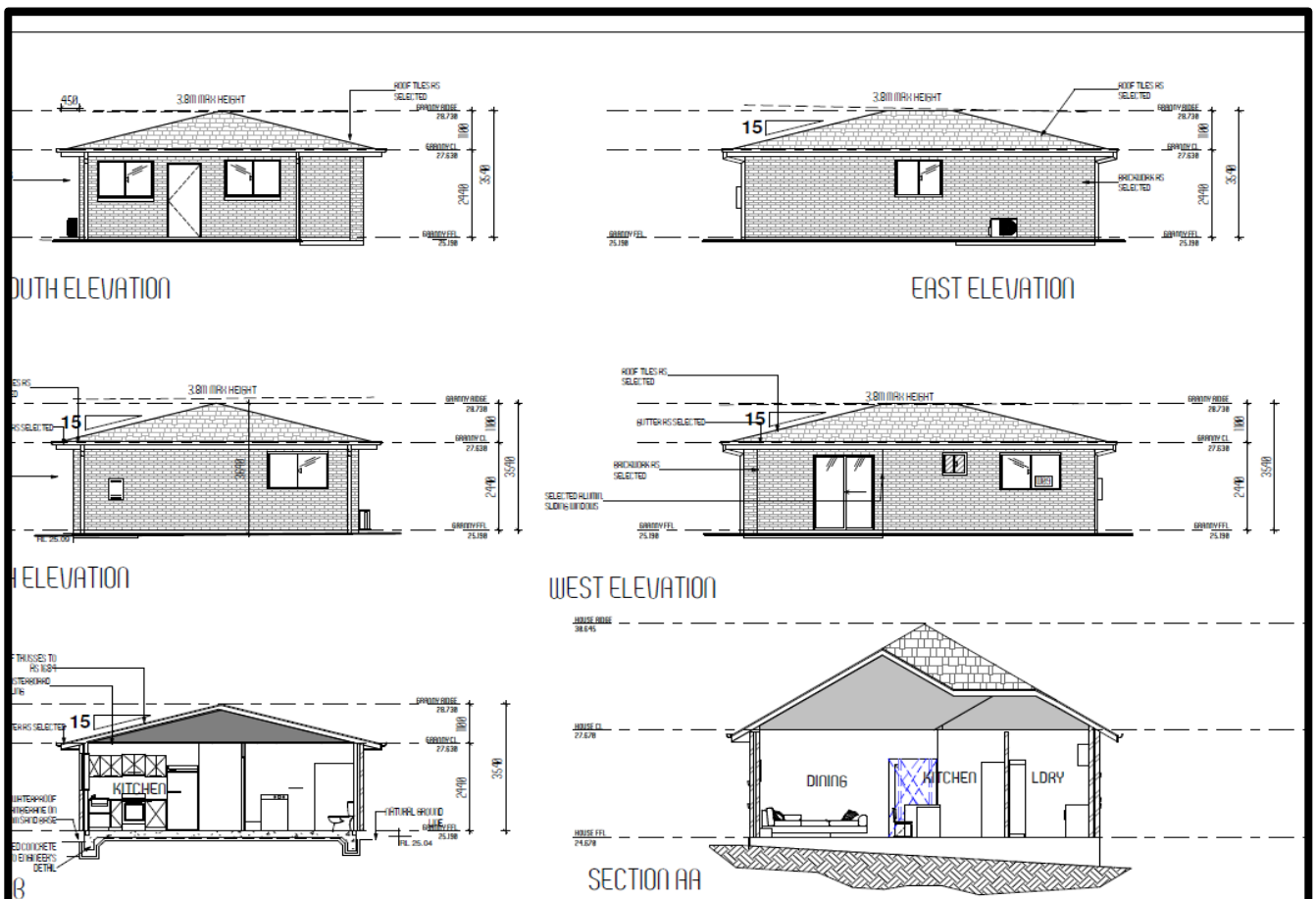


Figure 5: Proposed elevations secondary dwelling

4. Site Constraints

Site Constraint	Yes/No
Bushfire	No
Flooding	No
Heritage Items	No
Aboriginal heritage	No
Environmentally Significant Land	No
Threatened Species/ Flora/ Habitat/ Critical Communities	No
Acid Sulphate Soils	Yes – Class 5 – Proposal does not involve significant excavation that would impact acid sulfate soils.
Flight Paths	No
Railway Noise	No
Road Noise/ Classified Road	No

5. Section 4.15 Planning Assessment

The following planning instruments have been considered in the planning assessment of the subject Development Proposal

- (a) State Environmental Planning Policy (Biodiversity and Conservation) 2021 – Chapter 6, Waterway Catchments
- (b) State Environmental Planning Policy (Resilience and Hazards) 2021 – Chapter 4, Remediation of Land
- (c) State Environmental Planning Policy (Sustainable Buildings) 2022
- (d) Canterbury Bankstown Local Environmental Plan (CBLEP) 2023
- (e) Canterbury Bankstown Development Control Plan (CBDCP) 2023
 - o Chapter 5.2 – Residential Accommodation – Former Canterbury LGA.

(a) State Environmental Planning Policy (Biodiversity and Conservation) 2021 – Chapter 6, Waterway Catchment

The subject land is located within the Georges River Catchments and as such State Environmental Planning Policy (Biodiversity and Conservation) 2021 – Chapter 6, Waterway Catchment applies to the application. The SEPP generally aims to maintain and improve the water quality and river flows of the Georges River and its tributaries.

The proposed development involves a subdivision and construction of a dual occupancy and is unlikely to have a detrimental impact on the environmental quality of the Georges River Catchment and thus is consistent with the relevant objectives of the SEPP.

(b) State Environmental Planning Policy (Resilience and Hazards) 2021 – Chapter 4, Remediation of Land

In accordance with Clause 4.6(1) Council must not consent to the carrying out of any development on land unless it has considered whether the land is contaminated, and if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out.

Due to the existing and surrounding residential uses there is nothing to indicate that the site would be affected by soil contamination. The site has been used for residential purposes for a prolonged and extended period of time, therefore would unlikely contain contaminated land.

With consideration to the above mentioned points there is no sufficient evidence to suggest that the land is contaminated and therefore a land contamination assessment is not considered to be necessary at this stage. Based on the conclusions above it is considered that the site is suitable for the proposed development and land use and has adequately addressed Clause 4.6(1) of the SEPP.

(c) State Environmental Planning Policy (Sustainable Buildings) 2022

Chapter 2 – Standards for Residential Development - BASIX

BASIX Certificates have been provided for the proposal. The BASIX certificates demonstrate that the development has incorporated sufficient energy and water saving protocols to demonstrate satisfactory compliance with the BASIX SEPP.

(d) Canterbury Bankstown Local Environmental Plan (CBLEP) 2023

(i) Zoning

The subject site is zoned R3-Medium Density Residential, pursuant to the CBLEP 2023.

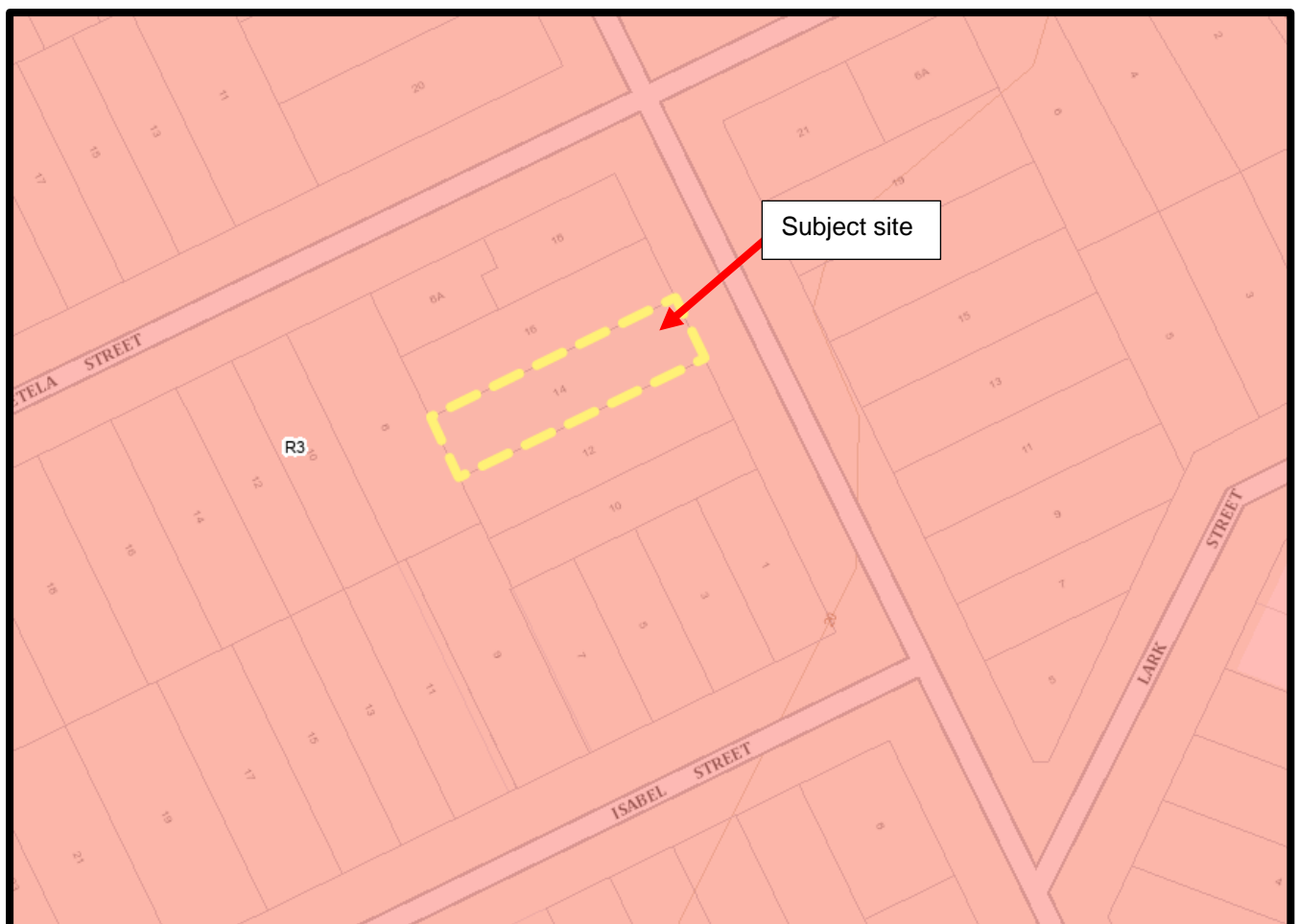


Figure 6: Zoning Map of the area - (Source NSW e-planning portal)

(ii) Permissibility

The development proposes the “*Alterations and additions to existing primary dwelling and construction of a detached secondary dwelling*”.

The proposal involves the alterations and additions to a primary dwelling and the construction of secondary dwelling. The elements of the proposal is best defined as a “*dwelling house*” and “*secondary dwelling*”. Dwelling houses and secondary dwellings are permissible with consent in the R3 Zone, as indicated in the extract from the CBLEP 2023 below.

3 Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Car parks; Centre-based child care facilities; Community facilities; Dwelling houses; Early education and care facilities; Environmental facilities; Environmental protection works; Exhibition homes; Flood mitigation works; Group homes; Home businesses; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Seniors housing; Tank-based aquaculture

Having regard to the above, the development is permissible, pursuant to the applicable EPI and can be proposed.

(iii) Objectives of the Zone

The objectives of the zone are as follows:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.*
- *To allow for certain non-residential uses that are compatible with residential uses and do not adversely affect the living environment or amenity of the area.*
- *To allow for development that provides a suitable visual transition between high density residential areas and low-density residential areas.*
- *To ensure suitable landscaping in the medium density residential environment.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To allow for increased residential density in accessible locations to maximise public transport patronage and encourage walking and cycling.*
- *To promote a high standard of urban design and local amenity.*

Comment: The development is consistent with the applicable objectives of the R3 zone in that it is providing for a development that will facilitate for the housing needs of the community in a medium-density residential environment. The proposal contributes to the variety of housing types within the future surrounding low-density environment.

The proposal has been designed to ensure a high level of residential amenity is maintained for surrounding residents and potential future residents of the proposed development. The development has

been designed to be of a bulk and scale that is consistent with the existing and future character of the area.

The proposal has been designed to limit any detrimental impacts on the surrounding built environment, by providing a design that does not create a detrimental impact in terms of privacy and overshadowing on adjoining properties. The secondary dwelling has been built towards the rear of the site, and is built in accordance with the site constraints,

(iv) Summary of the Development Standards Applicable under the CBLEP 2023

Development Provision	Requirement	Proposed
4.3 (2A) (a) Height of Buildings	Max Height 8.5m	Complies Height of building of primary dwelling is 5.975m Height of secondary dwelling is a maximum 3.64m
4.4(2B)(b)(ii) Floor Space Ratio	Max FSR 0.55:1	Complies The overall FSR of proposed dwelling is 0.38:1
5.4 (9) – Controls relating to miscellaneous permissible uses	Secondary dwelling is to be a maximum 60m ² or 10% of the principle dwelling whichever is greater.	Complies Secondary dwelling is 60m ²

(e) Canterbury Bankstown Development Control Plan (CBDCP) 2023

An assessment against the applicable guidelines of the CBDCP 2023, specifically Chapter 5, Part 5.2 – Former Canterbury LGA, section 2 – Dwelling Houses and outbuilding and section 7 – Secondary Dwellings is provided below;

CBDCP 2023 – Part 5.2 – Former Canterbury LGA		
Section 2 – Dwelling Houses and Outbuildings		
Control	Required	Complies
Subdivision		
2.1 – Lot Size	Minimum 15m	Existing lot

Site Cover		
2.2 – Site Cover	Max building footprint 330m ² , max outbuilding is 45m ² and maximum site coverage is 50%	Overall site coverage is 38%, building footprint of both secondary dwelling and primary dwelling are 236.3m ² in total
Landscaping		
2.3 – Deep Soil	20% with minimum dimension of 2.5m	Deep soil proposed at 31.9% with all dimensions exceeding 2.5m
Layout and Orientation		
2.4 – Design	<p>Orientate development to maximise solar access and natural lighting, without unduly increasing the building's heat load.</p> <p>Site the development to avoid casting shadows onto a neighbouring dwelling's primary living area, private open space and solar cells.</p> <p>Coordinate design for natural ventilation with passive solar design techniques.</p> <p>Site new development and private open space to avoid existing shadows cast from nearby buildings.</p> <p>Site a building to take maximum benefit from cross-breezes and prevailing winds.</p> <p>Do not compromise the creation of casual surveillance of the street, communal space and parking areas, through the required orientation.</p>	Development is designed to accommodate the existing orientation of the site, with maximum solar access, whilst minimising the impacts of privacy or overshadowing on adjoining properties.

Height		
2.5 – Height	<p>Development for the purposes of dwelling houses must not exceed the following numerical requirements:</p> <p>A maximum two storey-built form.</p> <p>A maximum external wall height of 7m where the maximum height of buildings standard under the LEP is 8.5m.</p> <p>A maximum external wall height of 8m where the maximum height of building standard under the LEP is 9.5m.</p> <p>Finished ground floor level is not to exceed 1m above the natural ground level.</p> <p>Note: Skillion and flat roof forms will be considered on merit.</p>	<p>Main dwelling retains a single storey-built form, with the main extension isolated to the rear of the dwelling, which cant be seen from the primary street. The dwelling maintains a single storey-built form, well below the 8.5m.</p>
Setbacks		
2.6 – Front Setback	a) 5.5m to first storey (i.e., ground floor)	Existing dwelling front setback is maintained as existing
Side and Rear Setbacks		
2.6 – Side Setback	0.9m	<p>Yes –</p> <p>A side setback is maintained at over 900mm</p>
2.6 – Rear Setback	6m	Yes – Setback to primary dwelling well over 6m

Building Separation		
2.7 – Building Separation	<p>(a) The top storey of any two-storey building should be designed, as a series of connected pavilion elements.</p> <p>(b) Pavilion elements shall have a depth between 10m to 15m.</p> <p>(c) Articulate pavilion elements by an additional side boundary setback, and identified by separate roofs.</p>	Single storey dwelling is maintained
Building Design		
2.8 – General Design	<p><u>Contemporary built form</u></p> <p>Contemporary architectural designs may be acceptable if:</p> <p>(a) A heritage listing does not apply to the existing dwelling or to its immediate neighbours.</p> <p>(b) The proposed addition is not visually prominent from the street or from a public space.</p> <p>(c) Extensive remodelling of existing facades is proposed in accordance with controls of this DCP.</p> <p>New building forms and design features shall not mimic traditional features, but should reflect these in a contemporary design.</p> <p>Access to upper storeys must not be via external stairs.</p> <p>All dwellings must contain one kitchen and laundry</p>	Proposed additions are not readily visible from the street, the extensions maintain the existing built form. Proposed extension maintains the existing roof form and shape, and the extensions are limited to the rear of the site.

	<p>facility.</p> <p>Retain and extend prominent elements of the existing roof (such as gables, hips or longitudinal ridges that run parallel to a street boundary).</p> <p>Contemporary roof forms may be acceptable on additions at ground floor level if concealed substantially behind the existing dwelling, and not visible from the street or other public space.</p>	
	<p><u>Building Entries</u></p> <p>Entries to residential buildings must be clearly identifiable.</p> <p>The front door to a dwelling house may face a side boundary, or may be located beneath a carport, provided it is clearly identified by a porch or awning, and pathways.</p> <p>A minimum of one habitable room must be oriented towards the street to promote positive social interaction and community safety.</p> <p>Sight lines to the street from habitable rooms or entrances must not be obscured by ancillary structures.</p>	Existing building entries maintained
	<p><u>Internal Dwelling Layout</u></p> <p>Design interiors to be capable of accommodating the range of furniture that is typical for the purpose of each room.</p> <p>The primary living area and principal bedroom must have a minimum dimension of 3.5m.</p> <p>Secondary bedrooms must</p>	Internal reconfiguration maintains a bedroom fronting the street. The internal alterations increase the size of living areas, and kitchen creating a better and more functional design

	<p>have a minimum dimension of 3m.</p> <p>Provide general storage in addition to bedroom wardrobes and kitchen cupboards.</p>							
	<p><u>Façade Treatment</u></p> <p>Development on corner lots must address both street frontages through facade treatment and articulation of elevations.</p> <p>Use non-reflective materials, do not randomly mix light and dark coloured bricks, and treat publicly accessible wall surfaces with anti-graffiti coating.</p> <p>Facade design should reflect the orientation of the site using elements such as sun shading devices, light shelves and bay windows.</p> <p>Facades visible from the street should be designed as a series of articulating panels or elements.</p> <p>The width of articulating panels should be consistent with the scale and rhythm characteristic of bungalows.</p> <p>The width of articulating panels shall be in accordance with the numerical requirements below:</p> <table border="1"> <thead> <tr> <th>Facade</th><th>Street elevation</th><th>Side elevation</th></tr> </thead> <tbody> <tr> <td>Width of articulating panels</td><td>4m to 6m</td><td>10m to 15m</td></tr> </tbody> </table> <p><small>Table 6: Width of articulating panels</small></p> <p>Avoid long flat walls along street frontages - stagger the wall alignment with a step (not a fin wall or other protruding feature) of at least</p>	Facade	Street elevation	Side elevation	Width of articulating panels	4m to 6m	10m to 15m	<p>Facades remain unchanged towards the street. The side and rear facades are small scale and single storey built form, with limited visibility from the street.</p>
Facade	Street elevation	Side elevation						
Width of articulating panels	4m to 6m	10m to 15m						

	<p>0.5m for residential buildings.</p> <p>Vary the height of modules so they are not read as a continuous line on any one street between 2 - 4 storeys, step-back to the middle component and again at the top.</p> <p>Incorporate contrasting elements in the facade - use a harmonious range of high quality materials, finishes and detailing.</p> <p>Screen prominent corners with awnings, balconies, terraces or verandas that project at least 1 m from the general wall alignment.</p>	
	<p><u>Pavilions</u></p> <p>The top storey of any two-storey dwelling should be designed as a series of connected pavilion elements to minimise scale and bulk.</p> <p>Facades that exceed 25m in length shall be indented to create the appearance of multiple pavilion elements.</p> <p>Pavilion elements shall have a depth between 10-15m.</p> <p>Articulate upper storey pavilions with an additional side boundary setback, and identify by separate roofs.</p>	Proposal is satisfactory
	<p><u>Windows</u></p> <p>Large windows should be located at the corners of a building and may be designed as projecting bay-windows.</p>	Limited fenestration prospered with larger windows at the rear to create a connection with the rear yard

	<p>Large windows should be screened with blinds, louvres, awnings or pergolas and be draft insulated.</p> <p>Windows must be rectangular.</p> <p>Square, circle and semi-circle windows are acceptable in moderation.</p> <p>Vertical proportioned window openings can include multi-panel windows or multi-panel doors.</p> <p>Windows and openings shall be appropriately located and shaded to reduce summer heat load and maximise sunlight in winter.</p> <p>Dormer windows on buildings in the residential zone do not appear as additional storey must comply with the following design requirements:</p> <ul style="list-style-type: none"> (a) Individual dormers are no wider than 1.5m in width; (b) Provide a minimum 2.5m separation between dormers; and (c) Dormers do not extend encroach above the ridgeline of the building. 	
	<p><u>Ventilation</u></p> <p>Incorporate features to facilitate natural ventilation and convective currents - such as opening windows, high vents and grills, high level ventilation (ridge and roof vents) in conjunction with</p>	<p>Proposed design and extension has incorporated design techniques that could maximise natural and cross ventilation.</p>

	<p>low-level air intake (windows or vents).</p> <p>Where natural ventilation is not possible, energy efficient ventilation devices such as ceiling fans should be considered as an alternative to air conditioning. Explore innovative technologies to naturally ventilate internal building areas or rooms.</p>	
Roof Design and Features		
2.9 – Roof design	<p>Use a simple pitched roof that accentuates the shape of exterior walls, and minimises bulk and scale.</p> <p>Avoid complex roof forms such as multiple gables, hips and valleys, or turrets.</p> <p>Roof pitches are to be compatible and sympathetic to nearby buildings.</p> <p>Parapet roofs that increase the height of exterior walls are to be minimised.</p> <p>Use minor gables only to emphasise rooms or balconies that project from the body of a building.</p> <p>Mansard roofs (or similar) are not permitted.</p> <p>Pitched roofs should not exceed a pitch of 30 degrees.</p> <p>Relate roof design to the desired built form and context.</p> <p>Roofs with greater pitches will only be considered on merit taking into account matters</p>	<p>The roof pitch of main dwelling is maintained in terms of form and pitch. The secondary dwelling is design with a simple pitch as well, reducing the bulk and scale appearance</p>

	such as streetscape, heritage value and design integrity.	
Amenity		
2.10 – Solar Access and Overshadowing	<p><u>Proposed Development</u></p> <p>Where site orientation permits at least primary living areas of dwellings must receive a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June. Where existing overshadowing by buildings and fences is already greater than this control, sunlight is not to be reduced by more than 20%.</p> <p>Principle areas of private open space must receive a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June to at least 50% of the open space surface area. Where existing overshadowing by buildings and fences is already greater than this control, sunlight is not to be reduced by more than 20%.</p> <p><u>Neighbouring Development</u></p> <p>Proposed development must retain a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June for existing primary living areas and to 50% of the principal private open space.</p>	<p>Yes – The living rooms on the ground floor at the northern elevation of the dwelling have openings to the north and west to enable sufficient sunlight to penetrate the living areas.</p> <p>Adjoining properties maintain existing solar access with limited impact generated by the proposed development</p>
Visual Privacy		
2.11 – Visual Privacy		Windows appropriately located and design to

	<p>Locate and orient new development to maximise visual privacy between buildings, on and adjacent to the site.</p> <p>Minimise direct overlooking of rooms and private open space through the following:</p> <p>(a) Provide adequate building separation, and rear and side setbacks; and</p> <p>(b) Orient living room windows and private open space towards the street and/or rear of the lot to avoid direct overlooking between neighbouring residential properties.</p> <p>If living room windows or private open spaces would directly overlook a neighbouring dwelling:</p> <p>(a) Provide effective screening with louvres, shutters, blinds or pergolas; and/or</p> <p>(b) Use windows that are less than 600mm wide or have a minimum sill height of at least 1.5m above the associated floor level.</p> <p>Screening of bedroom windows is optional and dimensions are not restricted.</p>	<p>alleviate privacy impacts on adjoining dwellings. Side windows have a high sill with the larger habitable room windows located to the rear.</p>
3.17 – Windows directly looking into POS	<p>Where development proposes a window that directly looks into the private open space of an existing dwelling, the window does not require screening where:</p>	<p>Yes – Location of windows satisfactory</p>

	<p>(a) the window is to a bedroom, bathroom, toilet, laundry, storage room, or other non-habitable room; or</p> <p>(b) the window has a minimum sill height of 1.5 metres above floor level; or</p> <p>(c) the window has translucent glazing to a minimum height of 1.5 metres above floor level; or</p> <p>(d) the window is designed to prevent overlooking of more than 50% of the private open space of a lower-level or adjoining dwelling.</p>	
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CBDCP 2023 – Part 5.2 – Former Canterbury LGA		
Section 7 – Secondary Dwellings		
Control	Required	Complies
Subdivision		
7.1 – Development Controls	Where an application to Council is made for a secondary dwelling, the minimum frontage required for secondary dwellings will be considered on merit taking into consideration compliance with Canterbury City Council's Secondary Dwelling (Granny Flat) Policy (adopted on 15 October 2009 by CDC Minute 295).	The existing site is less than the stipulated 12.5m, however the subject site well exceeds the minimum site area requirements of 450m ² and is designed to comply with all setbacks from side and rear. The proposal maintains a compliant landscape arrangement and is of a single storey-built form. The proposed secondary dwelling limits impacts of privacy and overshadowing on adjoining properties, and is of a bulk and scale that fits well overall and is appropriately located. The secondary dwelling is designed to allow suitable solar access

		to the POS and living areas, creating excellent amenity for future residents.
SEPP Housing		
7.2 – SEPP Housing	<p>All applications for secondary dwellings will be assessed against Schedule 1 of the <i>State Environmental Planning Policy (Housing) 2021</i>.</p> <p><u>Lot Requirements</u></p> <p>(b) for a lot other than a battle-axe lot—has a boundary with a primary road, measured at the building line, of at least the following—</p> <p>(i) if the lot has an area of at least 450m² but not more than 900m²—12m,</p> <p><u>Site Coverage</u></p> <p>(1) The site coverage of the principal dwelling, secondary dwelling and all ancillary structures on a lot must be no more than the following—</p> <p>(a) if the lot has an area of at least 450m² but not more than 900m²—50% of the area of the lot,</p> <p><u>Floor Area</u></p> <p>(1) The floor area of a secondary dwelling, excluding an attached ancillary structure, must not be more than—</p> <p>(a) 60m²</p> <p>(2) The total floor area of a principal dwelling, secondary</p>	<p>As indicated above the site frontage is approached on merit. The allotment well exceeds 450m²</p> <p>Site Coverage is proposed at 38%</p> <p>Floor area is a maximum of 60m²</p> <p>Total floor area is 197m²</p>

	<p>dwelling and all attached ancillary structures must not be more than the following—</p> <p>(a) if the lot has an area of at least 450m² but not more than 600m²—330m²,</p> <p><u>Setbacks and maximum floor area for balconies, decks, patios, terraces and verandahs</u></p> <p>(1) The total floor area of all balconies, decks, patios, terraces and verandahs on a lot must be no more than 12m² if—</p> <p>(a) a part of the structure is within 6m from a side or rear boundary, and</p> <p>(b) the structure has a point of its finished floor level at more than 2m above ground level (existing).</p> <p>(2) The balcony, deck, patio, terrace or verandah must not have a point of its finished floor level—</p> <p>(a) if it is located within 3m of a side or rear boundary—more than 2m above ground level (existing), or</p> <p>(b) if it is located more than 3m but not more than 6m from a side or rear boundary—more than 3m above ground level (existing), or</p> <p>(c) if it is located more than 6m from a side or rear boundary—more than 4m above ground level (existing).</p> <p><u>Building height</u></p> <p>Development for the purposes of a secondary dwelling or an ancillary structure must not result in a new building or a new part of an existing building having a building height above ground level (existing) of more than 8.5m.</p> <p><u>Front Setbacks</u></p>	<p>The proposed deck is 6m², the FFL of the deck is less than 2m above NGL.</p> <p>The development is single storey, with a height of 3.64m</p>
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	<p>(a) the average distance of the setbacks of the 2 nearest dwelling houses on the same side of the primary road and located within 40m of the lot on which the principal dwelling is erected, or</p> <p><u>Side Setbacks</u></p> <p>(a) for a lot with an area of at least 450m² but not more than 900m²—0.9m,</p> <p><u>Rear Setbacks</u></p> <p>(a) for a lot with an area of at least 450m² but not more than 900m²—</p> <p>(i) 3m, and</p> <p><u>Landscaped Area</u></p> <p>(1) A lot on which development for the purposes of a secondary dwelling or an ancillary structure is carried out must have a landscaped area of at least the following—</p> <p>(a) for a lot with an area of at least 450m² but not more than 600m²—20%,</p> <p>(2) At least 50% of the landscaped area must be located behind the building line to the primary road boundary.</p> <p>(3) The minimum dimensions of the landscaped area must be more than 2.5m.</p> <p><u>POS</u></p> <p>(1) A lot on which development for the purposes of a secondary dwelling is carried out must have more than 24m² of principal private open space.</p>	<p>Secondary dwelling is located at the rear of the allotment</p> <p>A minimum northern boundary setback of 1.278m is proposed and a southern boundary setback of 1m</p> <p>Rear setback proposed at 3.395m</p> <p>Deep soil proposed at 31.9% with all dimensions exceeding 2.5m</p> <p>Well over 50% provided</p> <p>Dimensions are a minimum 3.395m</p> <p>Over 35m² of POS is provided at the rear of the secondary dwelling</p>
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(f) Section 4.15(1)(a)(iii) –Any Planning Agreement or Draft Planning Agreement

There is no planning agreement or draft planning agreement applying to the site.

(g) Section 4.15(1)(a)(iv) –The Regulations

The applicable provisions of the *Environmental Planning and Assessment Regulation 2021* has been considered in the assessment of this application and it is considered the proposal is consistent with the EP&A Regulation 2021.

(h) Section 4.15(1)(b) – The Likely Impacts of the Development

It is considered that the proposal will have limited impacts on the existing and future character of the locality. The proposal provides for a development that will easily cater for a suitable residential development that will not compromise the amenity of the surrounding locality. The proposal provides for a suitable lot size and has demonstrated it can accommodate a built form and dwelling design that is consistent with the objectives and intent of the current development standards under the CBLEP 2023 and relevant guidelines of the CBDP 2023.

(i) Section 4.15(1)(c) – The Suitability of the Site for the Development

The subject development is permissible in the zone and the proposal satisfies the key planning controls for site as detailed above and is generally considered to be suitable for the site.

6. Conclusion

The application has been assessed against the relevant provisions of the EP&A Act 1979, applicable development standards of the CBDP 2023 and relevant guidelines of the CBDP 2023. It is considered the development proposing the “*alterations and additions to existing primary dwelling and construction of a detached secondary dwelling*” at 14 Hall Street Belmore, legally identified as Lot C DP 305691, is a suitable form of development consistent with the development standards applicable to the site and is a development form that is consistent with the existing and future character of the area.

The proposal provides for a development that is consistent with the prevailing subdivision pattern and predominant building form in the immediate locality and is consistent with the objectives of the R2 – Low Density zone applicable to the site.